

CONDITIONAL USE

Starbucks remodel—1219 Bluemont Avenue

file no. CUP-23-145

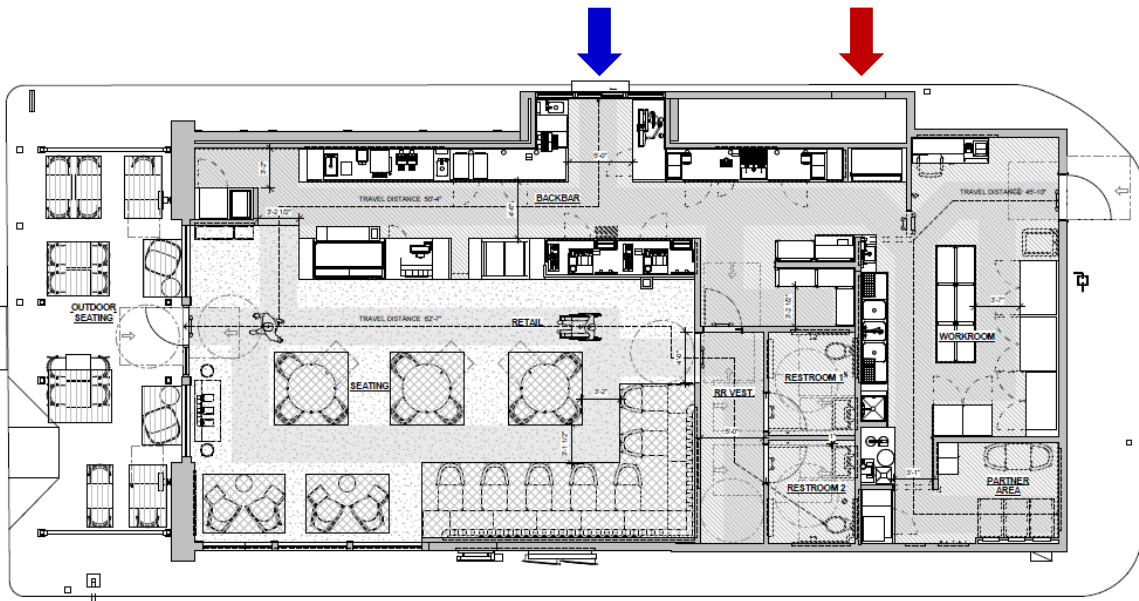
To: Manhattan Urban Area Planning Board
From: John Adam, Assistant Director
Meeting date: December 14, 2023
Applicant: Nina Berg, State Permits Inc.
Location: 1219 Bluemont Avenue
Zoning district: CA, Aggieville Commercial
Adjacent zoning: north: Bluemont Hotel PUD
south: CA, Aggieville Commercial
east: Aggieville Hotel PUD
west: CA, Aggieville Commercial
Adjacent uses: north: hotel
south: bars, restaurants, retail, office
east: hotel
west: bars, restaurants, retail

PROPOSAL

Starbucks would like to remodel its existing store in Aggieville. The exterior changes would include a rebuilt sidewalk connecting the front door to the public sidewalk, the addition of a pergola over the outdoor seating, moving the menu board, and moving the service window. The change in the menu board and service window locations are part of the effort to make drive-through operations more efficient. In order to make these changes, Starbucks is required to obtain a conditional use permit for a nonconforming use because of the changes to the menu board and window locations, which were specified in the original CUP and will affect how the drive-through operates.

BACKGROUND

Starbucks received a conditional use permit for this location in 2006. In 2017, following adoption of the Aggieville Community Vision Plan (file no. CPA-17-001), the City amended the list of permitted and conditional uses in the Aggieville Commercial district, removing drive-through businesses entirely (file no. DCA-17-002). This Starbucks has been a non-conforming use since that time. Starbucks registered the store as a non-conforming use earlier this year (file no. NCU-23-100).



Interior remodel. The service window is moving further north. The red arrow indicates its current location. The blue arrow the new location.

ANALYSIS

Manhattan Development Code (MDC) Section 26-9D-8 contains the review criteria for conditional uses for registered nonconformities. In this analysis regulatory text appears in *italics*, followed by staff evaluations in Roman type.

- D. Review Criteria. In making its determination, the PB will weigh all facts and circumstances, and place whatever emphasis and relevance it deems to be appropriate on each of the following:*
- 1. That either the current nonconforming use does not have a significant adverse impact on the surrounding neighborhood, and that the proposed expansion will not worsen such impact; or the current nonconforming use does significantly impact the surrounding neighborhood, and the proposed expansion will be likely to reduce or eliminate such impacts.*

Findings

This Starbucks has cars backed up into Bluemont Avenue almost every morning. It's an annoyance but it has not resulted in very many crashes and none serious. It's likely anyone who drives east on Anderson–Bluemont on a regular basis at certain times of day will know to move into the left lane before crossing Manhattan Avenue.

While it's true this store regularly has a negative impact, it more affects the transportation system rather than the surrounding neighborhood. The proposed remodeling, however, is intended to improve the situation to some degree. The application describes how centralizing the coffee-making equipment at that service window will make the "engine" (i.e., workflow) go faster. The applicants said

during the pre-application meeting that currently all the equipment is spread out along the counter, which slows down the workflow. No one among City staff is an expert in operational efficiencies in coffeeshops, but the description of how the changes will speed things up appears plausible. There may be only a small improvement in the stacking problem, but it doesn't seem likely the changes will worsen it.

2. *The existing use continues in a substantially similar form, or in a form that is altered only to make it more modern or efficient.*

Findings The exterior changes are driven entirely by the revised interior layout, which is being done to make drive-through service quicker.

3. *Adequate utilities, drainage, and other such necessary facilities have been or will be provided.*

Findings Not applicable. Nothing is changing that would trigger the need for additional utilities or other facilities.

4. *Safe and equitable pedestrian and bicycle access have been or will be provided, and bicycle parking is provided, where appropriate.*

Findings Currently there is no easy route from the public sidewalk to the front door, but the plan is to install a concrete walkway in place of the asphalt that's there now. Bicycle parking is not a site requirement in either the Aggieville or Downtown Commercial districts because the City provides public bicycle parking (MDC 26-7B-4).

5. *Adequate access roads or entrance and exit drives that are designed to prevent traffic hazards and minimize traffic congestion in public streets and alleys have been or will be provided.*

Findings There will be no changes to the entrances, exits, or the street.

6. *The conditional use's role in preserving and/or increasing the viability of a designated historic structure, site, or district and/or its historic use.*

Findings Not applicable. It's not a historic building nor is it in a historic district.

CONCLUSIONS

The combination of internal changes to speed up drive-through operations and the change to the service window location to provide extra stacking may improve the vehicle spill-out situation or at least not make it worse. A denial of the permit would mean that the store could not remodel.

RECOMMENDATION

Staff recommends that the Board **approve** the conditional use permit for the Starbucks remodel based on the findings in the staff report and with the following condition:

1. The locations of the menu board and service window as shown in the building plan set are the approved locations under this permit. Any significant deviation in location may require another conditional use permit for a nonconforming use application and hearing. The Zoning Administrator will determine if a deviation is significant or not.

RECOMMENDED MOTION

Move to approve the conditional use based on the findings in the staff report.

EXHIBITS

- A. Application form
- B. Plan set

<u>Sheet</u>	<u>Description</u>
D101	Exterior demolition plan
D102	Interior demolition plan
D201	Demolition elevations
G003	Interior remodel
A001	Exterior drive-through plan
A201	Exterior elevations, N and W sides
A202	Exterior elevations, S and E sides
A006	Pergola detail
- C. Neighborhood meeting report

Dated: December 7, 2023

Form Name:	Conditional Use
Submission Time:	October 20, 2023 11:09 am
Browser:	Chrome 118.0.0.0 / OS X
IP Address:	47.44.65.34
Unique ID:	1154458987
Location:	

Pre-Application Meeting Date Aug 17, 2023

Neighborhood Meeting Date Nov 09, 2023

Upload Required Neighborhood Meeting Report and Information <https://www.formstack.com/admin/download/file/15375857215>

Applicant/Agent Information

Applicant First Name Nina

Applicant Last Name Berg

Applicant Address Line 1 319 Elaine's Court

Applicant City Dodgeville

Applicant State Wisconsin

Applicant ZIP Code 53533

Applicant Phone (608) 407-9087

Applicant Email nina@permit.com

Is the Applicant/Agent Different From the Owner? Yes

Property Owner Information

Property Owner First Name Michelle

Property Owner Last Name Modereger

Property Owner Company RUBENSTEIN REAL ESTATE CO., LC

Property Owner Address Line 1 4400 SHAWNEE MISSION PKWY

Property Owner Address Line 2 SUITE 209

Property Owner City FAIRWAY

Property Owner State Kansas

Property Owner ZIP Code 66205

Property Owner Phone (913) 362-1999

Property Owner Email

michelle@rubensteinre.com

Property Information

Property Address Line 1

1219 Bluemont Ave

Legal Description

WARD 4 , Lot 501,502 , SECTION 18 TOWNSHIP 10 RANGE 08E Plat Book/Page A /54-8 Lot Width: 100.0 Lot Depth: 150.0 Deed Book/Page 0309/0133 0309/0134 0825/4321

Property Size

15,000

Current Land Use

RETAIL SALES AND SERVICES

Zoning of the Property

CA, Aggieville

Zoning Overlay Districts of the Property

Not Applicable

Additional Zoning Overlay Districts of the Property

Not Applicable

Application Materials

1 Proposed project detail

Existing Starbucks is open Mon - Thurs: 6am-8pm, Fri & Sat: 5:30am-8:30pm, and Sun 6am - 8:30pm. Current store employees 5-6 part-time and 5-6 full time. The existing drive thru peak hours are from 6:30am - 9am and 10:30am - 12pm.

Starbucks is remodeling this existing store to update the interior siren system (the beverage prep area) to allow employees more efficiency in drink creations. With the new interior layout, this will reduce the amount of time it takes to process drive thru orders. Along with the interior updates, Starbucks is proposing to relocate the drive-thru menu board/order screen, move the DT window, new concrete walkway, re-stripe pavement markings.

These updates are being done to help this location become more efficient in meeting customers needs.

2 Conditional Use complies with applicable zoning

There is no proposed changes to the existing lot size, bulk regulations or use of the existing Starbucks. The City granted conditional approval for the drive thru use in 2006. These updates are being done to help this location become more efficient in meeting customers needs. The reasoning of moving the drive thru window forward, is to help gain extra car length in the drive thru lane, but also helps create a more efficient engine on the interior focused on efficient channel production to improve the speed of service. The engine and cafe updates aim to improve both partner and customer experience from efficiency, look and feel. We have a timeless approach to our designs for better long term.

3 Neighborhood property effects explanation

The reasoning of moving the drive thru window forward, is to help gain extra car length in the drive thru lane, but also helps create a more efficient engine on the interior focused on efficient channel production to improve the speed of service. Slightly shifting the existing menu board order screen further south will also add stacking space for vehicles in the drive thru lane.

The engine and cafe updates aim to improve both partner and customer experience from efficiency, look and feel. We have a timeless approach to our designs for better long term.

4 Location and size of the Conditional Use

Existing Starbucks drive thru use is under a previously approved CUP. The proposed updates to the building will not effect the previous CUP. The exterior updates are being proposed to help the site become more efficient. These proposed changes to the existing store will not have any negative effects on the surrounding neighborhood properties.

4a Existing and proposed buildings, structures, walls and fences

Existing 2,367 sf Starbucks building is centrally located on the property. There is a dumpster enclosure in the Southeast corner of the property. No screening or fencing is located on the site. Existing patio is located on the North side of the building.

4b Nature and extent of existing and proposed landscaping and screening

No existing landscaping or screen located at this store.

5 Off-street parking and loading areas

Existing off street parking located at the North and east sides of the building. There are 6 parking spaces north of the building and 12 parking spaces to the east of the building. Surrounding properties are all commercial buildings, so no screening required between properties.

6 Adequate utility, drainage, and other necessary facilities

All existing utility and drainage will remain as is. No previous issue at this location with these amenities.

7 Adequate access roads or entrance and exit drives

Existing entrance to the site on the northwest corner of the lot. There is an exit drive on the Northeast corner of the lot. These existing access points will remain. The updates to the drive thru lane and interior of the store are being proposed to help the location become more efficient.

Application Attachments

Please upload a detailed and scaled site plan of the Conditional Use <https://www.formstack.com/admin/download/file/15375857255>

Please provide a detailed, scaled architectural plan (if applicable) <https://www.formstack.com/admin/download/file/15375857256>

Supporting Document Upload #1 <https://www.formstack.com/admin/download/file/15375857257>

Signature and Attest

Applicant Name Nina Berg

Property Owner Name RUBENSTEIN REAL ESTATE CO., LC

Property Owner Name MICHELLE MODEREGER

How will you be paying for the \$120 application fee? Credit Card/Debit Card

LEGEND

- ITEM TO BE DEMOLISHED
- PRESERVE FOR FUTURE USE
- EXISTING ITEM TO REMAIN

NOTE: PLEASE REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.

KEYED NOTES

1. EXISTING TO REMAIN (ETR).
2. DEMOLISH EXISTING BOLLARD. PATCH AND REPAIR CONCRETE.
3. DEMOLISH EXISTING PARKING SIGNS.

GENERAL NOTES

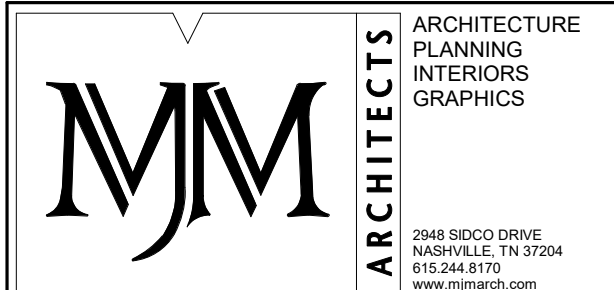
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- B. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF EXISTING CONDITIONS DEVIATE FROM CONSTRUCTION DOCUMENTS.
- C. REMOVE EXISTING INTERIOR WALL FINISH AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVE WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOLITION, (I.E. PIECES OF WALL COVERING OR BACKING). REMOVAL OF ALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN. ALSO REMOVE WALL DEVICES AND ITEMS MOUNTED TO WALLS.
- D. REMOVE EXISTING FLOORING AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVAL OF EXISTING FLOORING INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF EXISTING CERAMIC TILE, CARPET OR VINYL TILE FLOORING AND ASSOCIATED WALL BASE. SUBFLOOR TO BE STRIPPED OF ALL COVERING/FINISH AND CLEANED TO REMOVE EXISTING ADHESIVE, GROUT, MORTAR, DIRT AND COATINGS. FINAL SURFACE TO BE STREAK-FREE WITH NO MACHINE MARKS AND/OR SMOOTH, STABLE AND LEVEL. PROVIDE LEVELING WHERE NECESSARY TO ACCOMMODATE NEW FINISHES.
- E. DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, HANDRAILS, WALL PROTECTION, CLOSETS, SINKS ETC. PRIOR TO DEMOLITION, FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
- F. DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, DUPLEXES, DATA OUTLETS, CABLES, SHELVING, METAL STUD AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOLDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
- G. VERIFY WITH STARBUCKS CONSTRUCTION MANAGER ACCESS TO THE DEMOLITION AREA, INGRESS AND EGRESS ROUTES FOR MATERIAL AND EQUIPMENT.
- H. PROTECT EXISTING FLOORS, WALLS AND CORNERS TO REMAIN ALONG WORK ACCESS ROUTES.
- I. CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
- J. THE GENERAL CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, CEILINGS, SUPPORTS, STRUCTURE, ETC. TO REMAIN.
- K. ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- L. AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT SURFACE.
- M. REFER TO "ITEMS TO BE PRESERVED" LIST FOR ITEMS THAT SHALL BE SALVAGED FOR RELOCATION. VERIFY WITH OWNER FOR ON SITE STORAGE LOCATION OF SALVAGED ITEMS.
- N. DAMAGED FIREPROOFING SHALL BE REPAIRED/ REPLACED TO MATCH EXISTING.
- O. THE GENERAL CONTRACTOR SHALL DEMOLISH ANY EXISTING ABANDONED VOICE/DATA CABLING AND DEAD OR NON-USE ELECTRICAL BACK TO PANEL. ALL RECEPTACLES NOT REUSED ARE TO BE REMOVED, PATCHED AND PAINTED.
- P. REMOVAL OF LOW VOLTAGE EQUIPMENT, PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED BY THE STARBUCKS CONSTRUCTION MANAGER PRIOR TO REMOVAL. SALVAGED EQUIPMENT SHALL BE STORED IN A CLIMATE CONTROLLED ENVIRONMENT FOR FUTURE INSTALLATION.
- Q. LABEL ALL ITEMS AND PROPERLY STORE FOR RE-INSTALL.
- R. REMOVE EXISTING PLUMBING FIXTURES AND HVAC EQUIPMENT AS NECESSARY. CAP LINES AND TERMINATE DUCTS AS NECESSARY FOR THOSE NOT BEING RE-USED.



STARBUCKS
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
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PROJECT NAME:
BLUEMONT & MANHATTAN

PROJECT ADDRESS:
**1219 BLUEMONT AVE
MANHATTAN, KS 66502
RILEY COUNTY**

STORE #: 11752
PROJECT #: 37219-104
ISSUE DATE: 04-28-2023
DESIGN MANAGER: CHITRA PATEL
PRODUCTION DESIGNER: JK
CHECKED BY: MJM ARCHITECTS

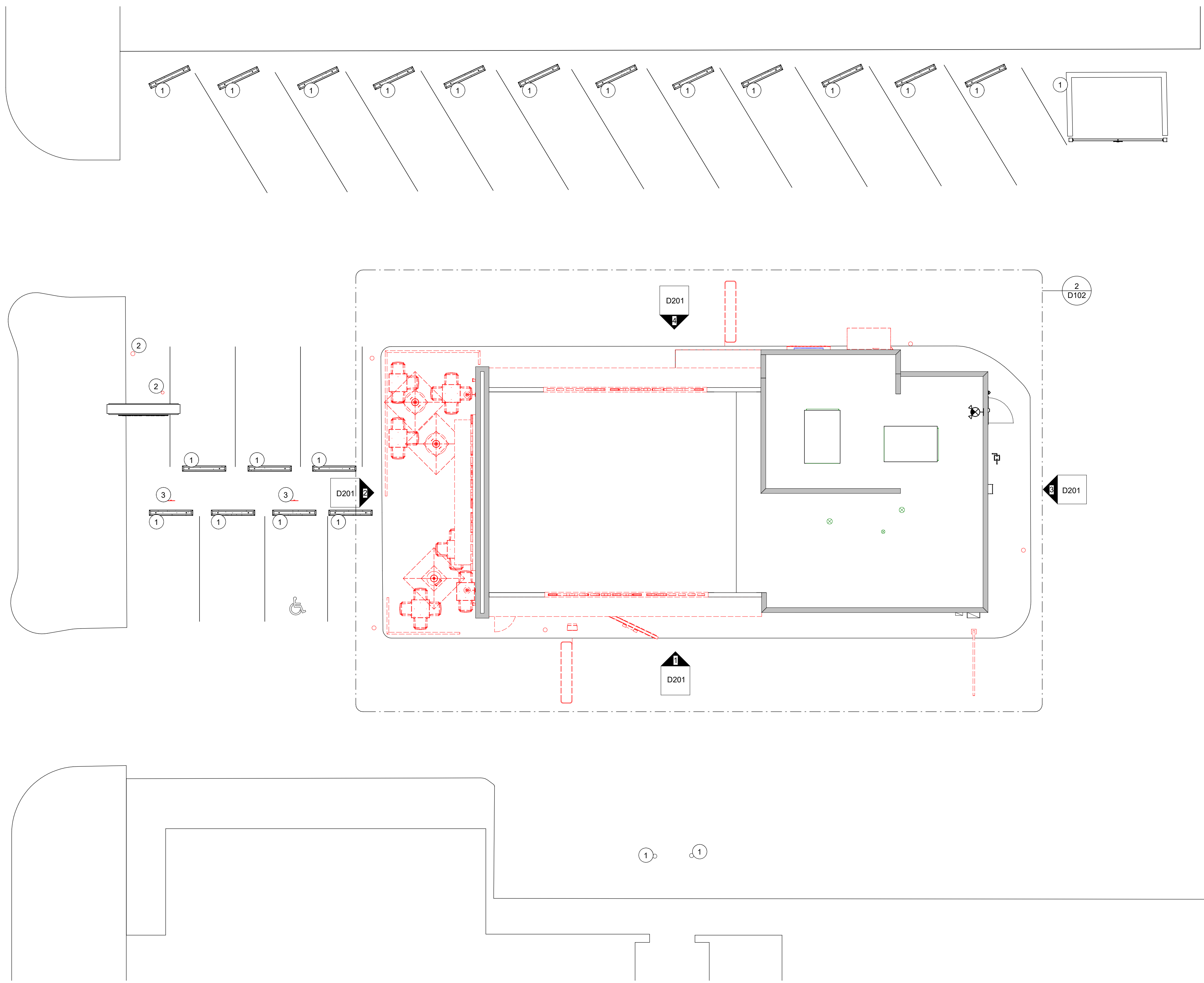
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
DEMOLITION SITE PLAN

SCALE: AS SHOWN

SHEET NUMBER:
D101

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1 DEMOLITION SITE PLAN
Scale: 1/8" = 1'-0"

MJM PROJECT #: 23108

LEGEND

- ITEM TO BE DEMOLISHED
- PRESERVE FOR FUTURE USE
- EXISTING ITEM TO REMAIN

ITEMS TO PRESERVE

- P1. BREWERS, SERVERS & WARMERS
- P2. GRINDER
- P3. BLENDERS (2)
- P4. NITRO TAP, FRIDGE & EQUIPMENT
- P5. CUP LABELER
- P6. POS AND ASSOCIATED EQUIPMENT
- P7. DT POS AND ASSOCIATED EQUIPMENT
- P8. PASTRY CASE & CART
- P9. 1 DOOR UNDER-COUNTER FRIDGES (6)
- P10. 1 & 2 DOOR REACH IN FREEZERS (3)
- P11. 2 DOOR REACH IN FRIDGES (2)
- P12. METRO SHELVES (9)
- P13. THAW RACK
- P14. OFFICE CHAIR
- P15. TRASH TOTE

ITEMS TO DEMOLISH

- D1. SAFE (BELOW)
- D2. CUP DISPENSER
- D3. DT WINDOW, AIR CURTAIN AND SHELF
- D4. ICE MACHINE AND ICE BIN
- D5. 3 COMP SINK
- D6. HAND SINK
- D7. MANAGER'S DESK AND EQUIPMENT
- D8. WARMING STATION EQUIPMENT AND OVENS
- D9. MASTRENA (2)
- D10. UMBRELLA AND BASE
- D11. METRO SHELVES (2)

KEYED NOTES

1. EXISTING TO REMAIN (ETR).
2. A PORTION OF WALL TO REMAIN AS SHOWN.
3. REMOVE EXISTING DOOR FRAME AND ASSOCIATED FASTENERS.
4. REMOVE INTERIOR PARTITION FROM FLOOR TO UNDERSIDE OF STRUCTURE.
5. REMOVE EXISTING RESTROOMS FIXTURE AND CAP PLUMBING.
6. REMOVE EXISTING CASE WORK, HANGING DEVICES, AND FASTENERS AS SHOWN. REMOVE ASSOCIATED ELECTRICAL AND DATA LINES, CAP EXISTING PLUMBING.
7. REMOVE EXISTING FIXTURES, FURNITURE, AND EQUIPMENT. REFER TO 'ITEMS TO BE PRESERVED' LIST.
8. REMOVE WALL FINISHES. REPAIR AND PATCH WALLS TO BE PREPARED FOR NEW WALL FINISH. REFER TO BUILDING FLOOR PLAN.
9. EXISTING FLOOR FINISH TO BE REMOVED DOWN TO CONCRETE. PATCH, REPAIR, AND CLEAN TO PREPARE FOR NEW WORK.
10. REMOVE EXISTING DT WINDOW, AIR CURTAIN, SHELF AND AWNING. PATCH AND REPAIR AS NEEDED.
11. DEMOLISH EXISTING DOOR AND WINDOW. INFILL THE AREA AND MATCH EXISTING. REFER TO BUILDING EXTERIOR ELEVATION FOR NEW WORK.
12. REMOVE EXISTING INTERIOR GREASE TRAP. PATCH AND REPAIR THE FLOOR. REFER TO THE PLUMBING DRAWINGS FOR NEW CONNECTIONS.
13. DEMOLISH EXISTING PORTION OF CONCRETE AND PREPARE FOR BUILDING EXPANSION. REFER TO BUILDING FLOOR PLAN FOR MORE INFORMATION.
14. DEMOLISH EXISTING EXTERIOR WALL AND PREPARE FOR BUILDING EXPANSION. REFER TO BUILDING FLOOR PLAN AND STRUCTURE FOR MORE INFORMATION.
15. DEMOLISH EXISTING PATIO RAILING. PATCH AND REPAIR TO REAP FOR NEW PERGOLA BASE ATTACHEMENT. REFER TO ARCHITECTURAL SITE PLAN.
16. DEMOLISH EXISTING DETECTOR LOOP. PATCH AND REPAIR THE AREA. REFER TO ARCHITECTURAL SITE PLAN FOR THE NEW LOCATION.
17. DEMOLISH EXISTING DT EQUIPMENT. PATCH AND REPAIR THE AREA. REFER TO ARCHITECTURAL SITE PLAN FOR THE NEW LOCATION.
18. DEMOLISH EXISTING BOLLARD. PATCH AND REPAIR CONCRETE.

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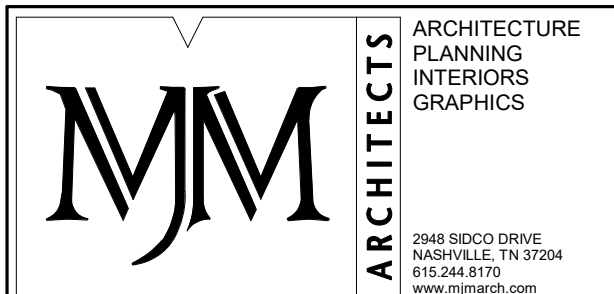
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- Q. LABEL ALL ITEMS AND PROPERLY STORE FOR RE-INSTALL.
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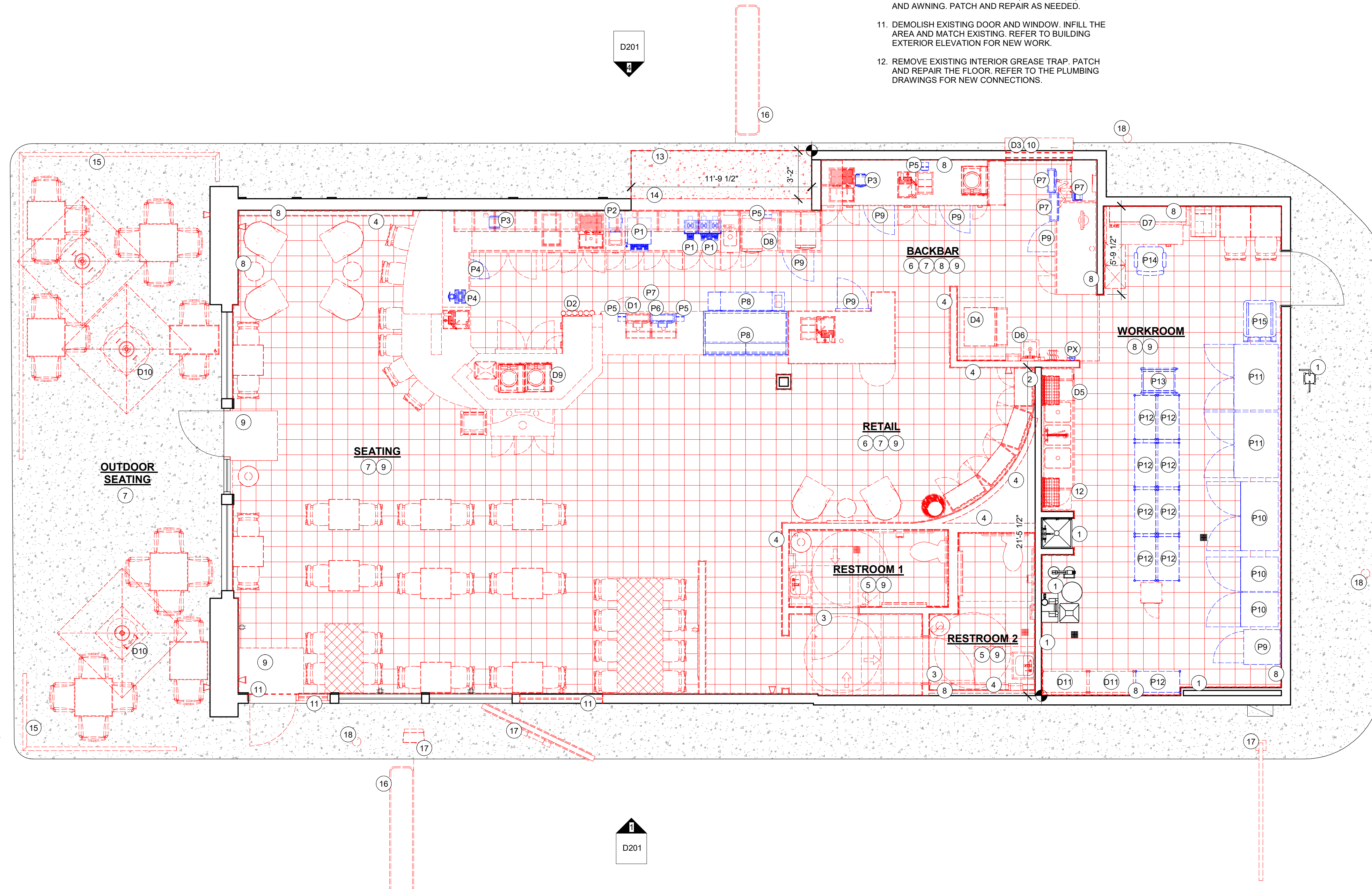
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RILEY COUNTY

STORE #: 11752
PROJECT #: 37219-104
ISSUE DATE: 04-28-2023
DESIGN MANAGER: CHITRA PATEL
PRODUCTION DESIGNER: JK
CHECKED BY: MJM ARCHITECTS

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
DEMOLITION FLOOR PLAN
SCALE: AS SHOWN

SHEET NUMBER:
D102



1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"

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MJM PROJECT #: 23108

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LEGEND

- ITEM TO BE DEMOLISHED
- PRESERVE FOR FUTURE USE
- EXISTING ITEM TO REMAIN

KEYED NOTES

1. EXISTING TO REMAIN. PATCH AND REPAIR THE WALL TO PREPARE FOR NEW PAINT OR WALL CLADDING. REFER TO BUILDING EXTERIOR ELEVATION FOR MORE INFORMATION.
2. DEMOLISH EXISTING DOOR AND WINDOW. INFILL THE AREA AND MATCH EXISTING.
3. REMOVE EXISTING SPEAKERS, LV CABLING AND ASSOCIATED FASTENERS.
4. REMOVE EXISTING WALL SIGN. PATCH AND REPAIR AS NEEDED.
5. REMOVE EXISTING DT WINDOW, AIR CURTAIN, SHELF AND AWNING. PATCH AND REPAIR AS NEEDED.
6. REMOVE EXISTING STARBUCKS WORDMARK SIGN AND SLOPED ROOF. PREPARE THE AREA FOR NEW WORK. REFER TO BUILDING EXTERIOR ELEVATIONS FOR NEW WORK.
7. REMOVE EXISTING AWNING. PATCH AND REPAIR AS NEEDED.
8. REMOVE EXISTING EXTERIOR WALL SCONCE. PATCH AND REPAIR AS NEEDED.
9. DEMOLISH EXISTING EXTERIOR WALL AND PREPARE FOR BUILDING EXPANSION. REFER TO BUILDING FLOOR PLAN AND STRUCTURE FOR MORE INFORMATION.
10. DEMOLISH EXISTING PATIO REAILING. PATCH AND REPAIR TO REAP FOR NEW PERGOLA BASE ATTACHEMENT. REFER TO ARCHITECTURAL SITE PLAN.
11. DEMOLISH EXISTING DT EQUIPMENT. PATCH AND REPAIR THE AREA. REFER TO ARCHITECTURAL SITE PLAN FOR THE NEW LOCATION.
12. DEMOLISH EXISTING BOLLARD. PATCH AND REPAIR CONCRETE.
13. DEMOLISH EXISTING EXTERIOR WALL AND PREPARE FOR NEW DOOR. REFER TO BUILDING FLOOR PLAN AND STRUCTURE FOR MORE INFORMATION.
14. PRESERVE AND RELOCATE EXISTING WALL SIGN. REFER TO BUILDING EXTERIOR ELEVATIONS FOR THE NEW LOCATION.
15. PRESERVE AND RELOCATE THE WINDOW. REFER TO BUILDING EXTERIOR ELEVATIONS FOR THE NEW LOCATION.

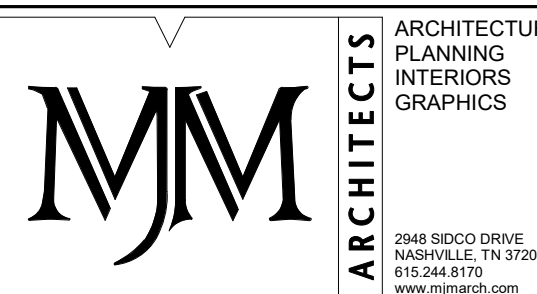


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STARBUCKS TEMPLATE VERSION | 2023.01.30



PROJECT NAME:
BLUEMONT & MANHATTAN

PROJECT ADDRESS:
1219 BLUEMONT AVE
MANHATTAN, KS 66502
RILEY COUNTY

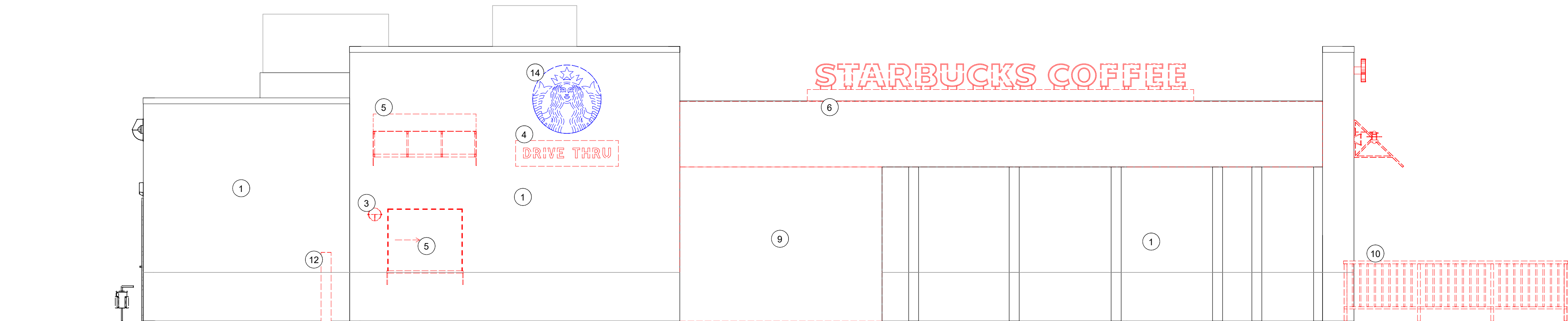
STORE #: 11752
PROJECT #: 37219-104
ISSUE DATE: 04-28-2023
DESIGN MANAGER: CHITRA PATEL
PRODUCTION DESIGNER: JK
CHECKED BY: MJM ARCHITECTS

Revision Schedule			
Rev	Date	By	Description

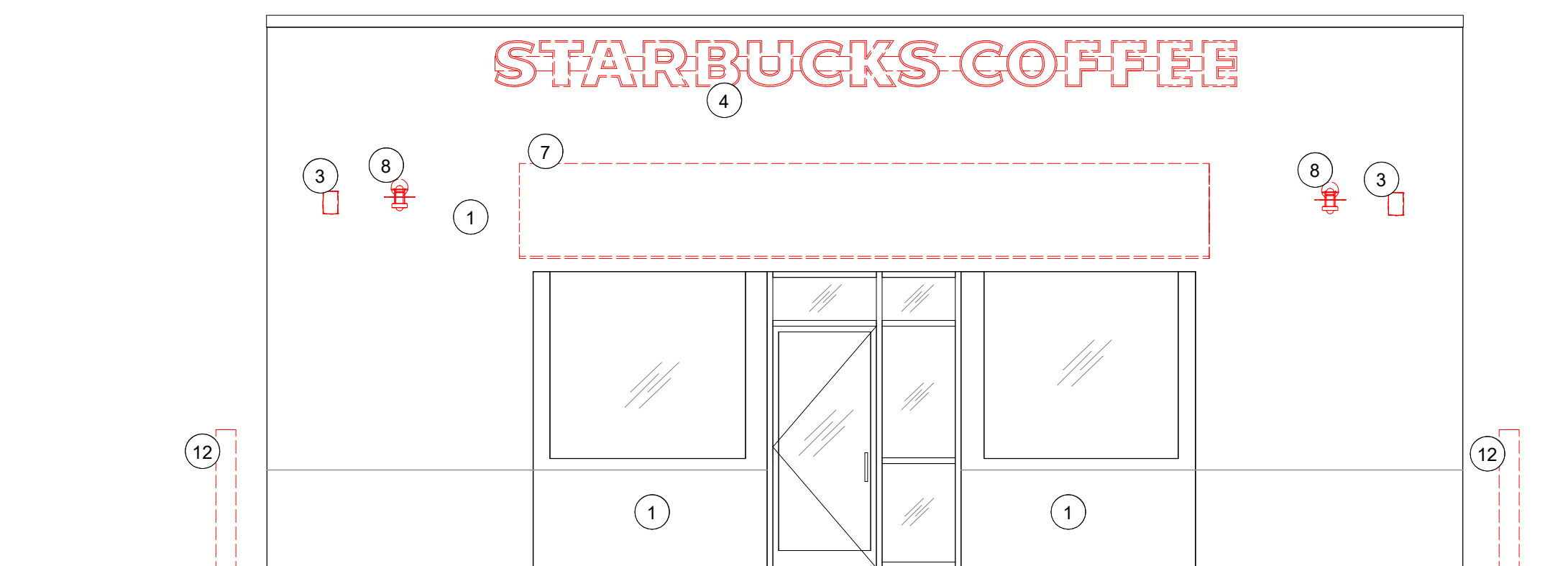
SHEET TITLE:
DEMOLITION ELEVATIONS
SCALE: AS SHOWN

SHEET NUMBER:
D201

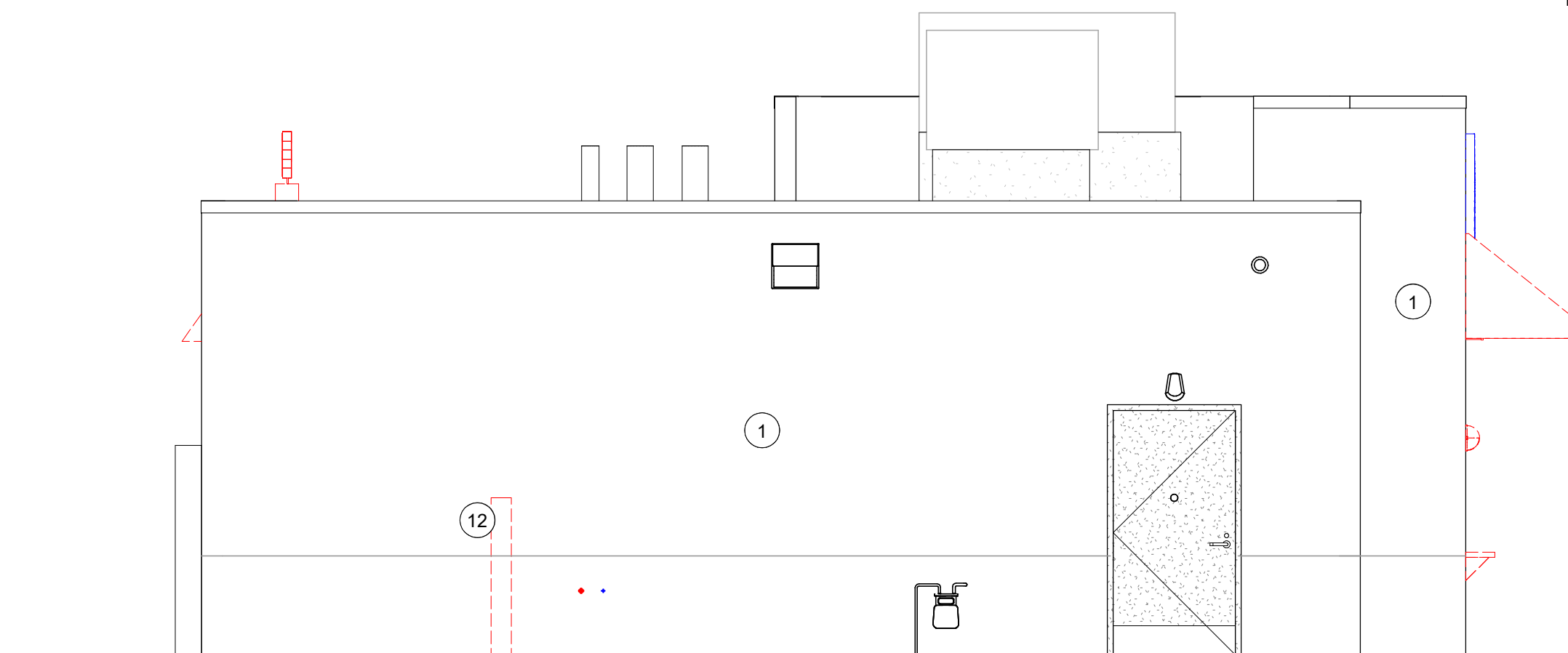
MJM PROJECT #: 23108



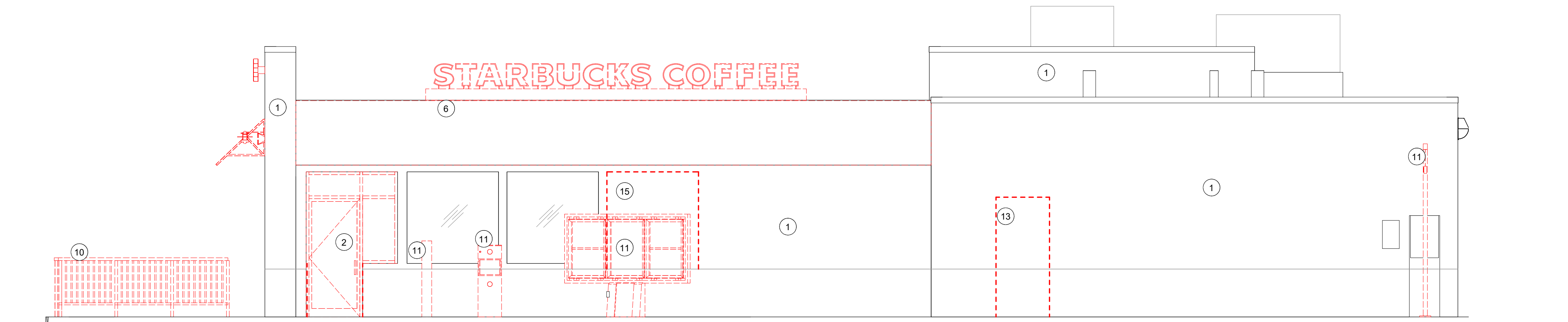
4 DT WINDOW DEMO ELEVATION
Scale: 1/4" = 1'-0"



2 ENTRY DEMO ELEVATION
Scale: 1/4" = 1'-0"



3 REAR DEMO ELEVATION
Scale: 1/4" = 1'-0"



1 ORDER POINT DEMO ELEVATION
Scale: 1/4" = 1'-0"

SIGNAGE UNDER SEPARATE PERMIT

KEYED NOTES

1. THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
2. BARRIER-FREE PATH OF TRAVEL.
3. 30" (160 MM) X 48" (1220 MM) CLEAR FOR WHEELCHAIR ACCESS.
4. 60" (1525 MM) DIAMETER MINIMUM TURN RADIUS FOR WHEELCHAIR ACCESS.
5. 32" (815 MM) MINIMUM CLEAR AT RESTROOM DOOR.
6. POS TRANSACTION PLANE, CONDIMENT CART TOP AND HAND-OFF PLANE ARE 34 INCHES (860 MM) ABOVE THE FINISHED FLOOR FOR WHEELCHAIR ACCESSIBILITY.
7. PROVIDE BARRIER-FREE SIGNAGE AT ACCESSIBLE RESTROOMS PER ALL APPLICABLE CODES.
8. PROVIDE TACTILE "EXIT" SIGNAGE.
9. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN WHERE REQUIRED BY APPLICABLE LAWS OR CODES.

OCCUPANT LOAD LEGEND

- ASSEMBLY (UNCONCENTRATED)
- BUSINESS
- MERCANTILE (GRADE FLOOR)
- MERCANTILE (STORAGE)
- OUTDOOR SEATING

SEE SHEET G002 FOR OCCUPANT LOAD CALCULATION

HEALTH DEPT. FINISH SCHEDULE

- BAR**
 FLOOR: POLYVINYL FLOORING
 WALL: WALL TILE, BACKSPASH, POLYVINYL BASE
 CEILING: GYPSUM, WOOD CEILING
- CAFE**
 FLOOR: FLOOR TILE, WALK-OFF CARPET
 WALL: GYPSUM BOARD, WOOD CLADDING, WALL COVERING, TILE BASE
 CEILING: GYPSUM, OPEN CEILING
- WORKROOM**
 FLOOR: POLYVINYL FLOORING
 WALL: FRP, POLYVINYL BASE
 CEILING: ACOUSTIC CEILING TILE
- RESTROOM**
 FLOOR: FLOOR TILE
 WALL: WALL TILE, COVE BASE
 CEILING: GYPSUM CEILING

LEGEND

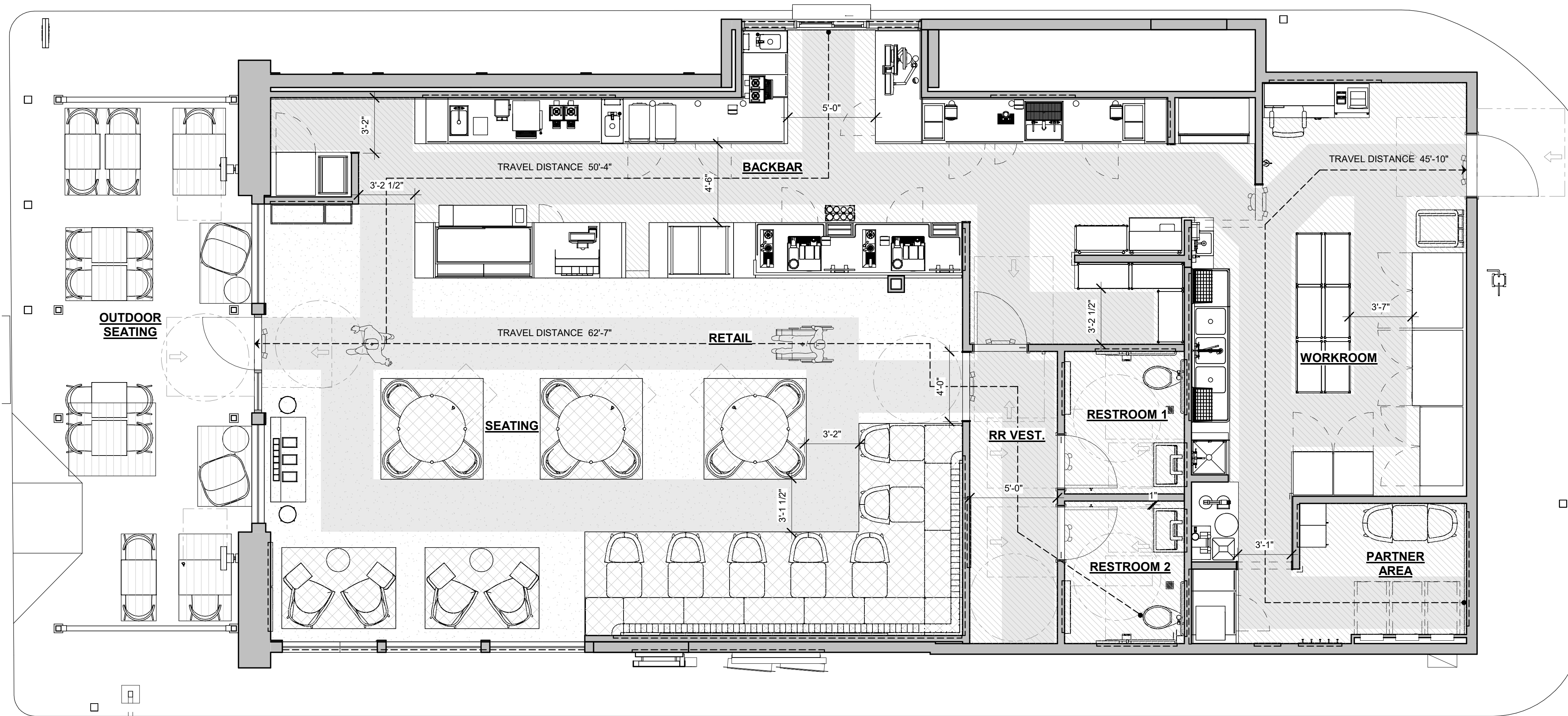
- TRAVEL DISTANCE
- BARRIER FREE PATH OF TRAVEL (MIN 3'-0" (915MM) - NO PINCH POINT)
- EMERGENCY LIGHT
- EXIT SIGN
- FIRE EXTINGUISHER
- ADA ACCESSIBLE SEATING

HEALTH DEPT. PLAN NOTES

- GENERAL CONTRACTOR TO SCHEDULE WITH REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR APPROVED CONTRACTOR, CONTACT THE VENDOR.
- THE SPACE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS
- WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- EACH HAND WASHING WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- REFERENCE INTERIOR SCHEDULE SHEETS (600 SERIES) FOR ADDITIONAL INFORMATION.
- PROVIDE SNEEZE GUARDS WHERE REQUIRED BY JURISDICTION.
- ALL FOOD STORAGE AND DISPLAY SHELVING SHALL BE A MINIMUM 6" (150MM) ABOVE FINISH FLOOR.

MEANS OF EGRESS NOTES

- EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT ACCESS DOORWAY. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER AUTHORIZED AGENT. (1004.3)
- EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES. (1014.2)
- PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING (1008.1.10):
 - THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
 - PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
 - FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.
- STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES (100 MM) OVER ANY WALKING SURFACE BETWEEN 27 INCHES (685 MM) AND 80 INCHES (2030 MM) ABOVE THE WALKING SURFACE. EXCEPTION: HANDRAILS SERVING STAIRS AND RAMPS ARE PERMITTED TO PROTRUDE 4 1/2 INCHES (115 MM) FROM THE WALL. (1003.3.3)
- THE PATH OF EGRESS TRAVEL EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
 - EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 - EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
 - NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT (30.5 M) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- WHERE KEY OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1 INCH (25 MM) LETTERING STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". (1008.1.9.3)
- EGRESS DOORS OR GATES SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES (860 MM) TO 48 INCHES (1220 MM) ABOVE FINISHED FLOOR. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1008.1.9)
- LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES (1120 MM). (1008.1.5, 1008.1.6)



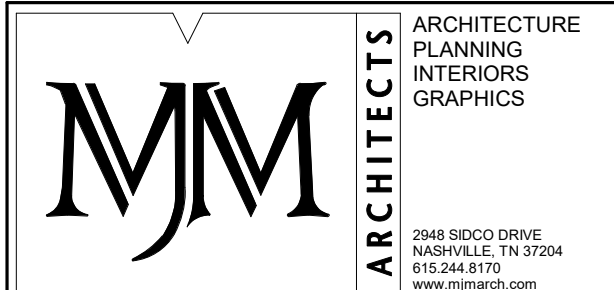
1 LIFE SAFETY & ACCESSIBILITY PLAN
 Scale: 1/4" = 1'-0"



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STARBUCKS TEMPLATE VERSION | 2023.01.30



PROJECT NAME:
BLUEMONT & MANHATTAN

PROJECT ADDRESS:
 1219 BLUEMONT AVE
 MANHATTAN, KS 66502
 RILEY COUNTY

STORE #: 11752
 PROJECT #: 37219-104
 ISSUE DATE: 04-28-2023
 DESIGN MANAGER: CHITRA PATEL
 PRODUCTION DESIGNER: JK
 CHECKED BY: MJM ARCHITECTS

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
LIFE SAFETY AND ACCESSIBILITY PLAN
 SCALE: AS SHOWN

SHEET NUMBER:
G003

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EXTERIOR SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
SIGNAGE - DISK					
13163	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 48IN 1220MM	SB	SB/GC	BLOCKING AND CONDUIT BY GC. SIGNAGE INSTALLED BY SB VENDOR.
SIGNAGE - DRIVE THRU					
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB	SB/GC	GC TO COORDINATE WITH SBUX VENDOR. GC TO PROVIDE FOOTING, ANCHOR BOLTS, AND CONSULT. SB VENDOR TO INSTALL SIGNAGE.
23074	1	SIGN - DIRECTIONAL EXIT ONLY ILLUM DS - NEW FOUNDATION - 44IN 1120MM	SB	SB/GC	GC TO COORDINATE WITH SBUX VENDOR. GC TO PROVIDE FOOTING, ANCHOR BOLTS, AND CONSULT. SB VENDOR TO INSTALL SIGNAGE.
SIGNAGE - OTHER					
21297	2	SIGN - 5 MINUTE PARKING	SB	SB/GC	POST AND FOOTING PROVIDED BY GC. SIGN PROVIDED BY VENDOR.
X21297	1	SIGN - ADA PARKING	SB	SB/GC	POST AND FOOTING PROVIDED BY GC. SIGN PROVIDED BY VENDOR.
SIGNAGE - WORDMARK					
22610	1	SIGN - WORDMARK BLADE SUSPENDED - HORIZONTAL - 30X10IN 760X255MM	SB	SB/GC	BLOCKING AND CONDUIT BY GC. SIGNAGE INSTALLED BY SB VENDOR.

EXTERIOR FINISH SCHEDULE					
DESIGN ID	DESCRIPTION	LRV	FURN. BY	INST. BY	COMMENTS
EXTERIOR FINISH					
XM01	NEW TECH WOOD - PERUVIAN TEAK T&G - VERTICAL PLANKS		GC	GC	AT FRONT FACADE; 3 WEEK LEAD TIME; CONTACT jonathan@newtechwood.com OR HOMEDEPOT
EXTERIOR PAINT					
20436	SW7018 DOVETAIL	26	GC	GC	GC TO MATCH EXISTING EIFS TEXTURE; PATCH AND REPAIR; SW USE PRIMER CP-1;
20442	SW7033 BRAINSTORM BRONZE	14	GC	GC	SW USE PRIMER CP-1
20457	SW7636 ORIGAMI WHITE	76	GC	GC	GC TO MATCH EXISTING EIFS TEXTURE; PATCH AND REPAIR; SW USE PRIMER CP-1;
20511	SW - HOTLINE TRAFFIC PAINT - WHITE		GC	GC	FOR ROAD MARKINGS

RESPONSIBILITY LEGEND

GC GENERAL CONTRACTOR
 LL LANDLORD
 SB STARBUCKS

ALL RESPONSIBILITIES TO BE CONFIRMED WITH STARBUCKS DESIGN MANAGER PRIOR TO ORDERING/ CONSTRUCTION.

SIGNAGE UNDER SEPARATE PERMIT

KEYED NOTES

- EXISTING TO REMAIN (ETR).
- RELOCATE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING OR PER LOCAL JURISDICTIONAL CODE REQUIREMENTS.
- BUILDING SIGN. PROVIDE J-BOX. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS. GC TO PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
- 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- NON-ILLUMINATED PROTECTIVE BOLLARD.
- NEW EXIT DOOR.
- PRE-FINISHED METAL COPING, TYPICAL.
- OUTLINE OF ROOF BEYOND.
- BLACK FABRIC AWNING WITH ENCLOSED SIDES. PROVIDE 3/4" MARINE GRADE PLYWOOD BLOCKING. SEE STRUCTURAL DRAWINGS.
- EXTERIOR SCENCE LIGHTING. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- EXTERIOR SPEAKER. SEE REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- EXTERIOR WALL MOUNTED OSCILLATING FAN. PROVIDE J-BOX. SEE ELECTRICAL DRAWINGS FOR CONNECTION INFORMATION.
- DT WALL MOUNTED 3 PANEL MENU BOARD WITH SPEAKER. PROVIDE 3/4" MARINE GRADE PLYWOOD BLOCKING.
- WALL EXTENSION TO BE FLUSH WITH EXISTING. PATCH AND REPAIR AS NEEDED.
- WALL INFILL TO BE FLUSH WITH EXISTING. PATCH AND REPAIR AS NEEDED.
- EXISTING STOREFRONT AND DOOR REMOVED. MATCH ADJACENT WINDOW TYPE AND FINISHES. INFILL WALL BELOW WINDOW TO MATCH EXISTING. PATCH AND REPAIR WALL AS NEEDED. REFER TO EXTERIOR ELEVATION.
- DT WINDOW. PROVIDE READY ACCESS DT SERVICE WINDOW. WINDOW AND AIR CURTAIN FINISH TO MATCH ADJACENT STOREFRONT.
- DT WINDOW SHELF. INSTALL SERVICE WINDOW SHELF AT 36" (915MM) INSIDE.
- GC TO PAINT EXTERIOR WALL.
- WALL MOUNTED DIGITAL ORDER SCREEN.
- RELOCATED WINDOW.
- DOS CONTROL BOX.

GENERAL NOTES

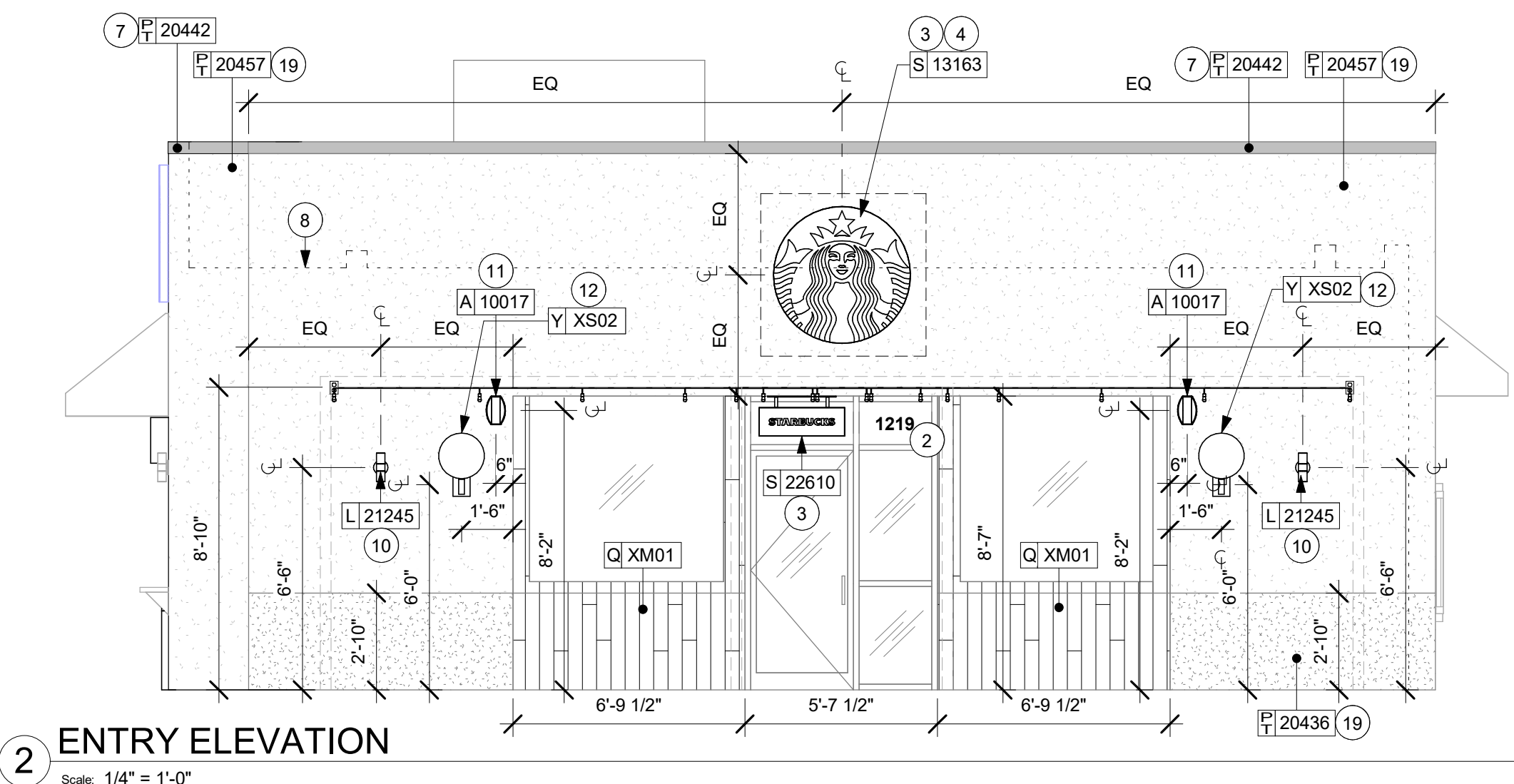
- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



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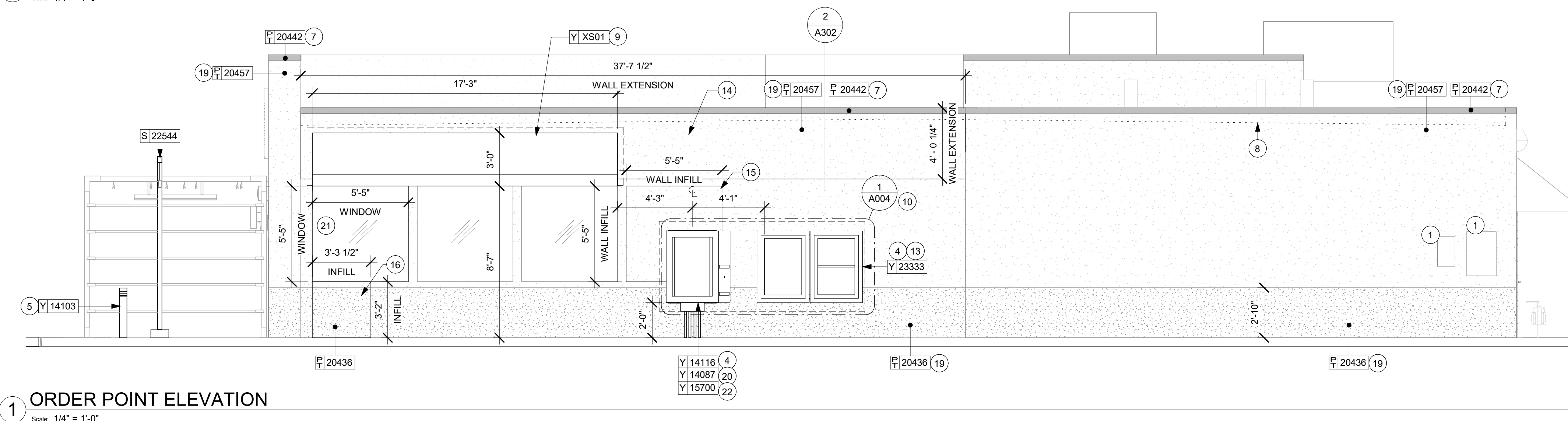
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STARBUCKS TEMPLATE VERSION i2023.01.30



2 ENTRY ELEVATION
 Scale: 1/4" = 1'-0"

NOTE: PLEASE REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.



1 ORDER POINT ELEVATION
 Scale: 1/4" = 1'-0"

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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
BUILDING EXTERIOR ELEVATIONS
 SCALE: AS SHOWN

SHEET NUMBER:
A201

MJM PROJECT #: 23108

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EXTERIOR SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
SIGNAGE - DISK					
13163	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 48IN 1220MM	SB	SB/GC	BLOCKING AND CONDUIT BY GC. SIGNAGE INSTALLED BY SB VENDOR.
SIGNAGE - DRIVE THRU					
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB	SB/GC	GC TO COORDINATE WITH SBUX VENDOR. GC TO PROVIDE FOOTING, ANCHOR BOLTS, AND CONSULT. SB VENDOR TO INSTALL SIGNAGE.
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SIGNAGE - OTHER					
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X21297	1	SIGN - ADA PARKING	SB	SB/GC	POST AND FOOTING PROVIDED BY GC. SIGN PROVIDED BY VENDOR.
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- RELOCATED SIGN.

GENERAL NOTES

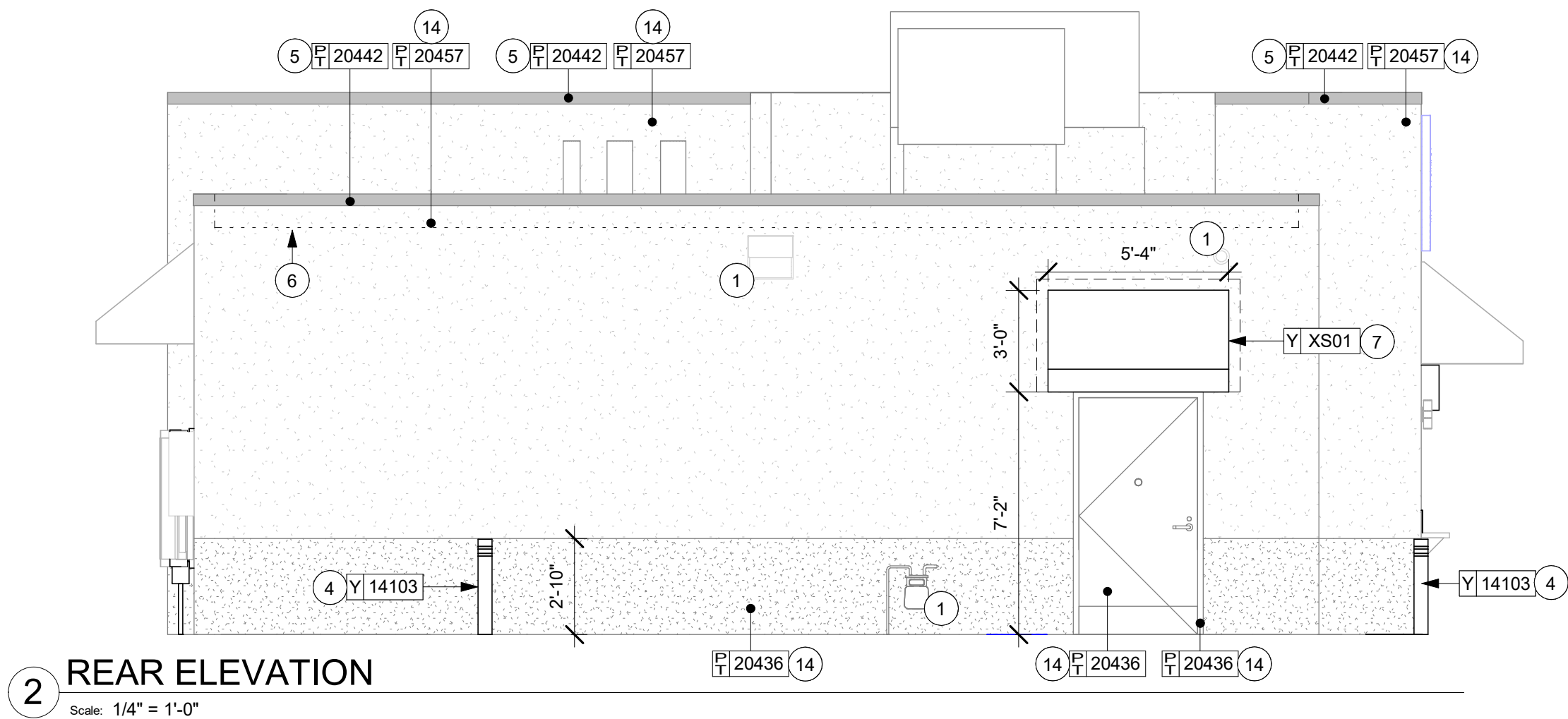
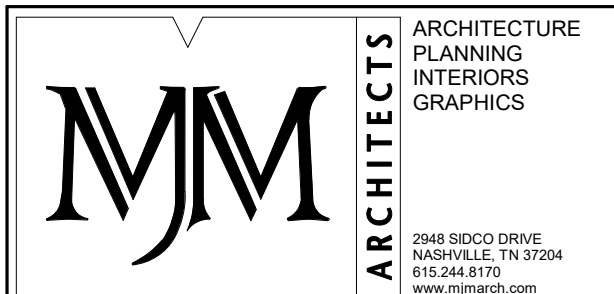
- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



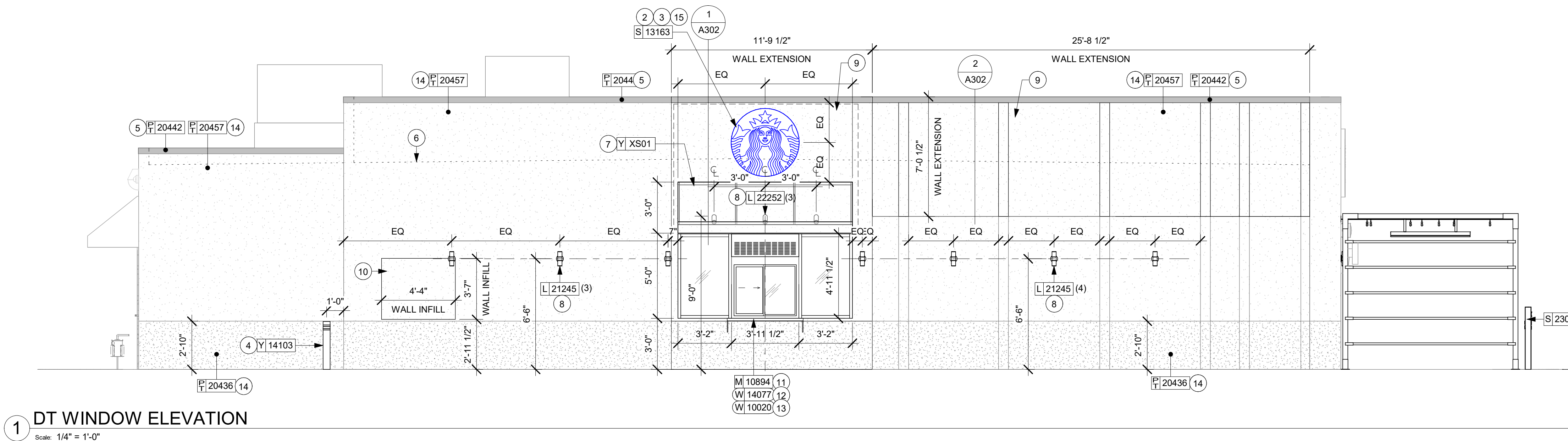
STARBUCKS
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

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STARBUCKS TEMPLATE VERSION i2023.01.30



NOTE: PLEASE REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.



PROJECT NAME:
BLUEMONT & MANHATTAN

PROJECT ADDRESS:
 1219 BLUEMONT AVE
 MANHATTAN, KS 66502
 RILEY COUNTY

STORE #: 11752
 PROJECT #: 37219-104
 ISSUE DATE: 04-28-2023
 DESIGN MANAGER: CHITRA PATEL
 PRODUCTION DESIGNER: JK
 CHECKED BY: MJM ARCHITECTS

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
BUILDING EXTERIOR ELEVATIONS
 SCALE: AS SHOWN

SHEET NUMBER:
A202

MJM PROJECT #: 23108

4/28/2023 11:09:35 AM C:\Users\josep\OneDrive - MJM Architects\Projects\SBUX\23108-SBUX_KS Bluemont & Manhattan\04 CDs\37219-104_11752_Bluemont & Manhattan_CD.rvt

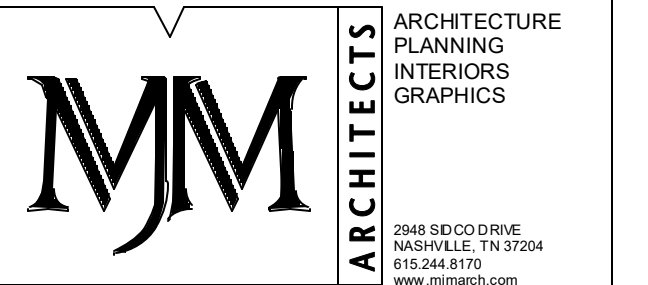


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STARBUCKS TEMPLATE VERSION I2023.01.30



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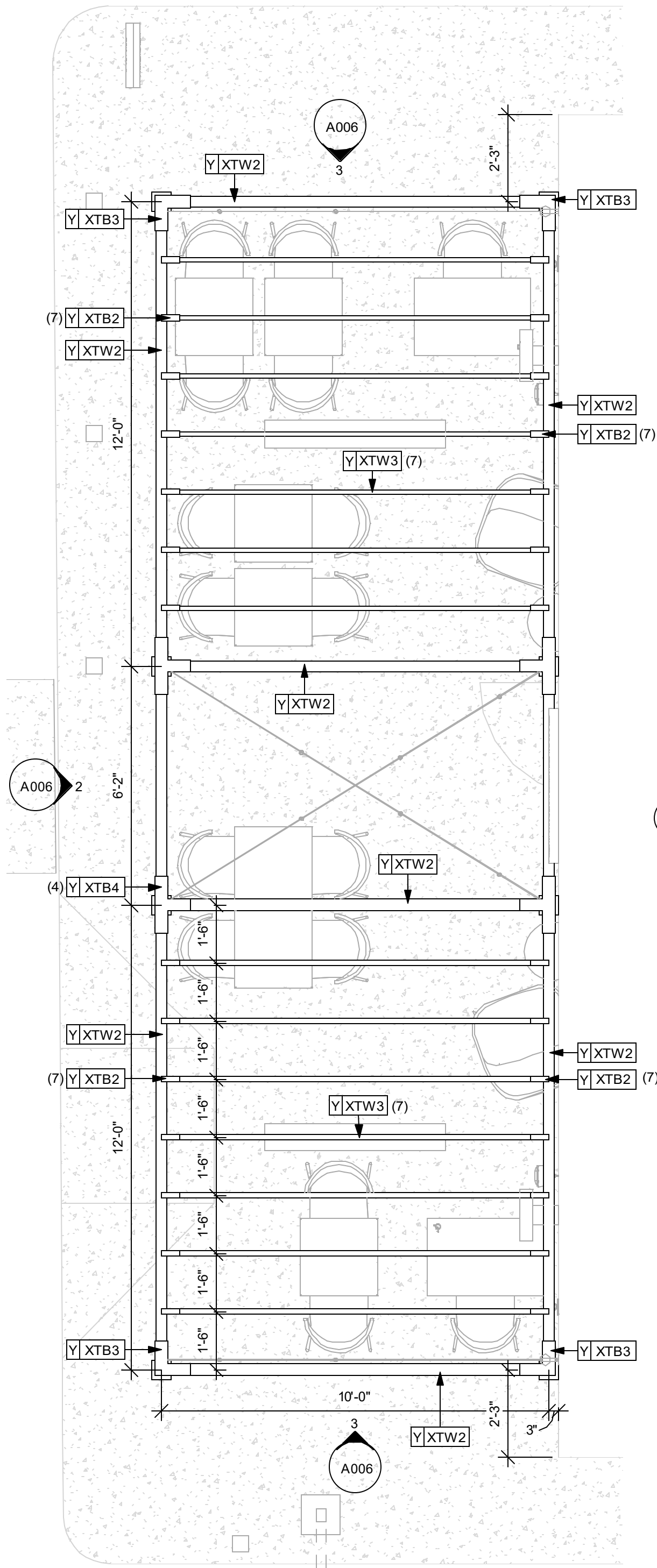
SHEET TITLE:
PERGOLA DETAILS

SCALE: AS SHOWN

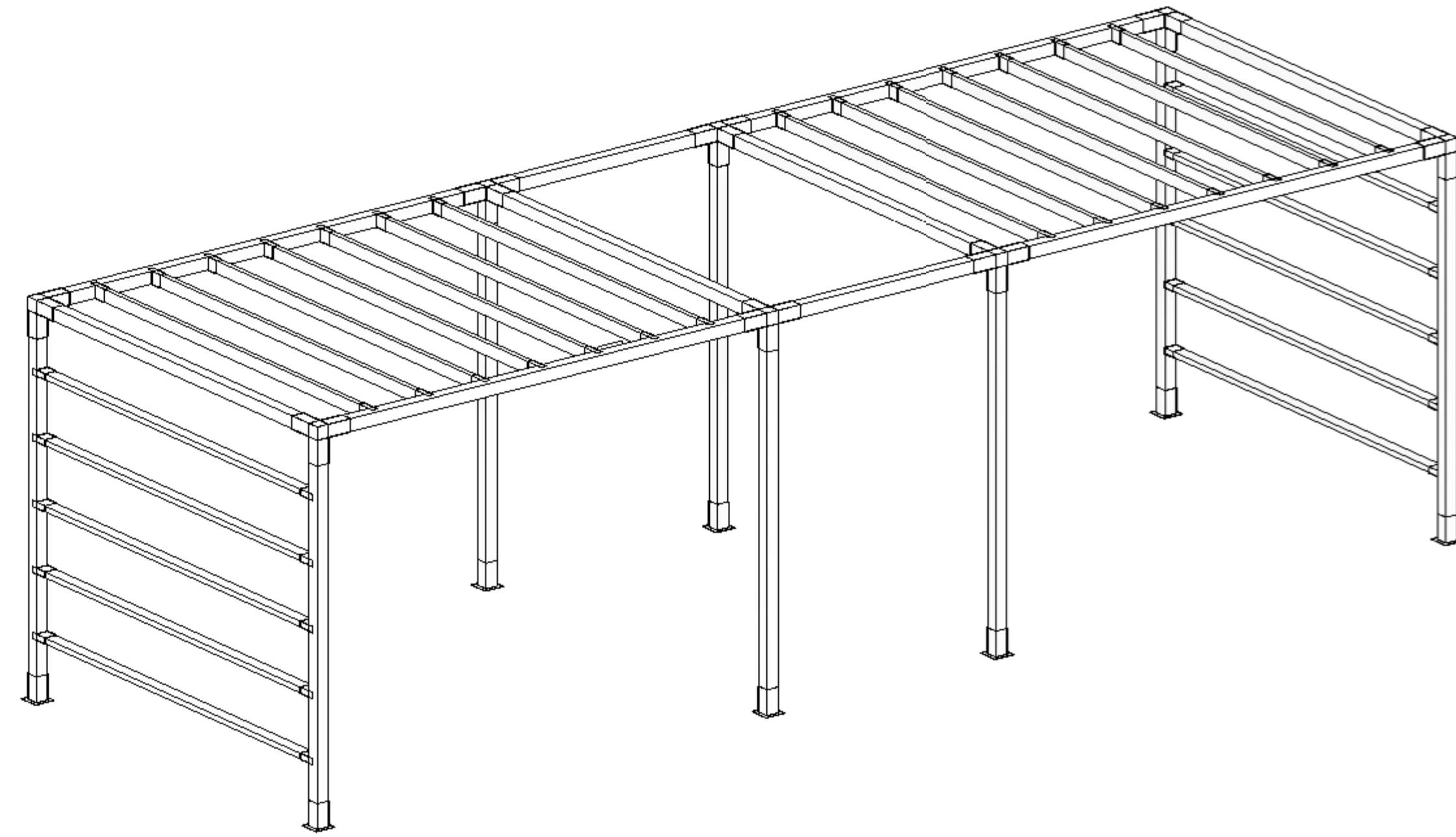
SHEET NUMBER:

A006

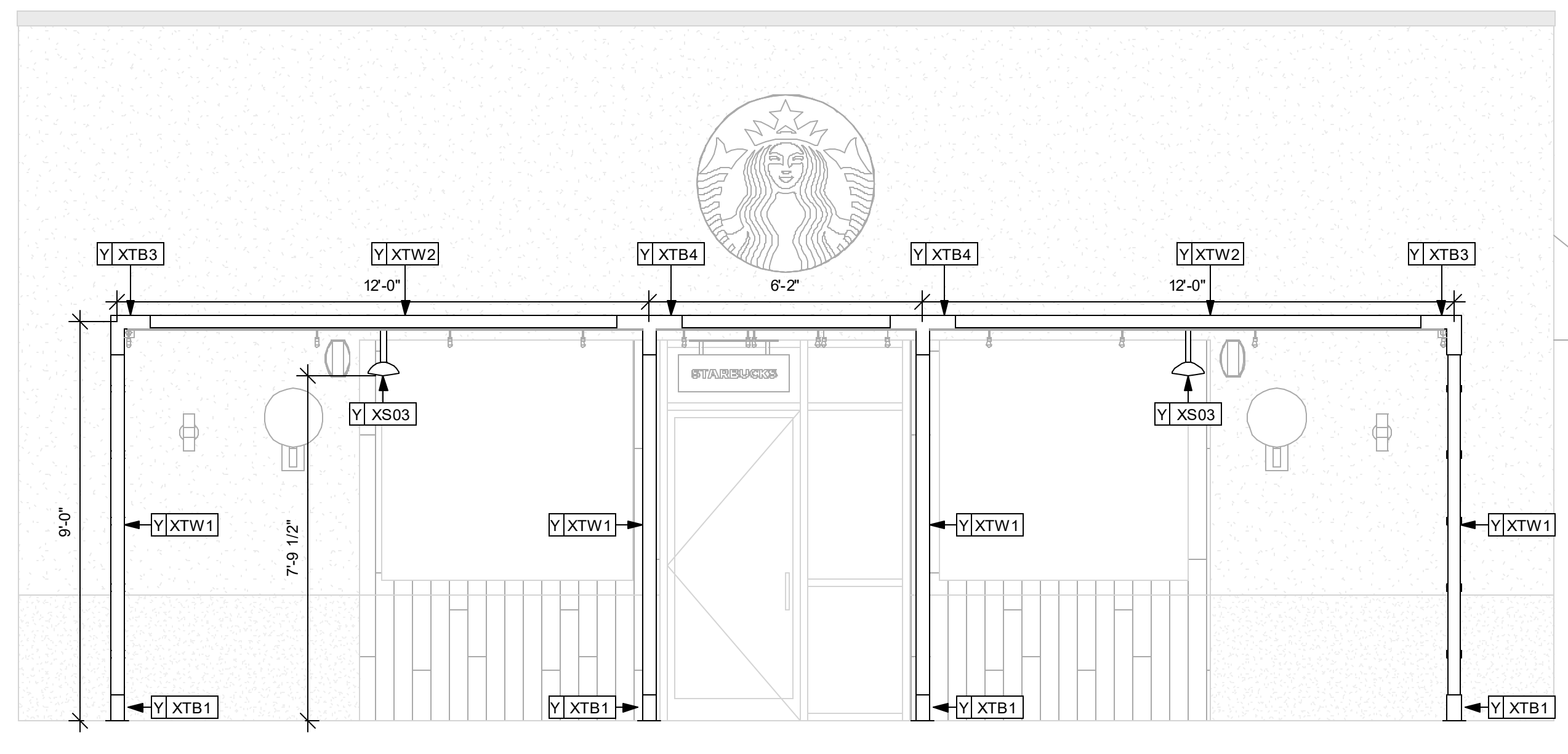
MJM PROJECT #: 23108



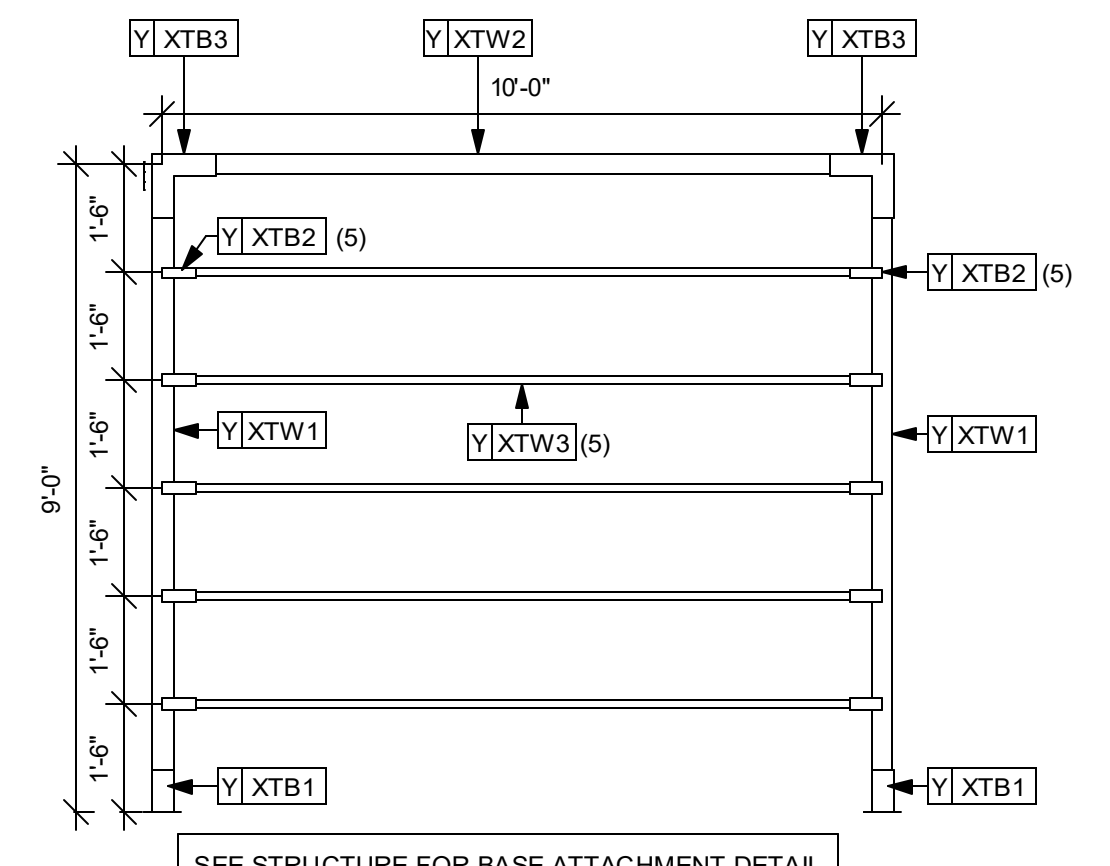
1 ENLARGED PERGOLA PLAN
Scale: 3/8" = 1'-0"



4 PERGOLA 3D VIEW
Scale:



2 PERGOLA FRONT ELEVATION
Scale: 3/8" = 1'-0"



3 PERGOLA SIDE ELEVATION (TYP)
Scale: 3/8" = 1'-0"

SEE STRUCTURE FOR BASE ATTACHMENT DETAIL

SEE STRUCTURE FOR BASE ATTACHMENT DETAIL

NEIGHBORHOOD MEETING

REPORT

A Community Development Department Form

Applicant Information

Applicant name: Nina Berg

Project name: Starbucks Coffee #11752

Report

1. Describe the outcome of the meeting including issues raised and other information deemed relevant.

No body attended

Attachments

The following attachments must be included with the submitted Neighborhood Meeting Report.

1. Copy of the meeting notice.
2. Copy of the mailing list.
3. Copy of attendee sign-in sheet.

Attestation

By my signature on this form, I certify that I mailed notice to all owners of property within the regulatory notification area.

Print Name: Nina Berg Date: 11/10/2023

Signature: *Nina Berg*



Starbucks Coffee Company

Midwest Region

111 N. Canal St

Chicago, IL 60606

DATE: October 27, 2023

Dear Property Owners,

The Starbucks Coffee store located at 1219 Bluemont Ave in Manhattan, KS would like to invite you to a neighborhood meeting to discuss an upcoming Conditional Use Permit they will be applying for with the City of Manhattan. Starbucks is pursuing to complete some interior and exterior remodel work at this facility which will allow for a more optimized customer experience. With this Conditional Use Permit, Starbucks is looking to shift the location of the drive-through menu board order points and drive-thru pick-up window. The proposed interior changes along with these exterior modifications will allow for faster service to customers.

If you have any questions about the proposed Conditional Use, please contact:

Katie Getz – State Permits

608-407-9078

katie@permit.com

Nina Berg – State Permits

608-407-9087

nina@permit.com

A neighborhood meeting is scheduled for **Thursday, November 9th 2023, from 6:00PM – 7:00PM Central Time**. The meeting will be held via an online ZOOM (link below). If you are unable to attend this meeting please feel free to send any questions or concerns via email to katie@permit.com or nina@permit.com.

ZOOM MEETING LINK

<https://us06web.zoom.us/j/83523044518?pwd=YCxmUuGSEKDvZW5CbFYLLmq6j0qpln.1>

Dial by your location

- [+1 309 205 3325](tel:+13092053325) US
- [+1 312 626 6799](tel:+13126266799) US (Chicago)

Meeting ID: 835 2304 4518

Passcode: 505255

Sincerely,

Nina Berg

Nina Berg

Starbucks Coffee Company Neighborhood Meeting

Thursday November 9th, 2023, 6pm

Starbucks Coffee 1219 Bluemont Ave. Manhattan, KS 66502

Sign In Sheet

Name

Address

Phone Number

no one attended

Party_Name	Party_Address	City	State	ZIP
AGGIEVILLE PLAZA LP	12903 Russell ST	Overland Park	KS	66209
ALLRED HOLDINGS LLC	PO Box 5810	Kansas City	MO	64111
ALMS PROPERTIES LLC	1202 Moro ST	Manhattan	KS	66502
BENDER, SHERILYN	PO Box 125	Sunrise Beach	MO	65079
BLACKHAWK PROPERTIES LLC	424 E 15th ST	Concordia	KS	66901
BLUEMORO HOLDINGS LLC	8884 Longhorn LN	Manhattan	KS	66503
BP MANHATTAN LLC	6310 Lamar AVE #STE 220	MISSION	KS	66202-4265
CHARTIER PROPERTIES LLC	8912 W 148th TER	Overland Park	KS	66221
EXCEL GROUP LLC	Attn: Andrew Suber 15264 254th ST	Lawrence	KS	66044
HAYNES COMMERCIAL PROPERTY LLC	Attn: Ira Haynes 5720 Elbo View DR	Manhattan	KS	66502-8924
HAYNES, JULIE K;TRUST	1400 Poyntz AVE	Manhattan	KS	66502-4145
MANHATTAN LLC	10990 Quivera RD #STE 160	Overland Park	KS	66210-2025
NADIG INC	151 Bethany DR	Manhattan	KS	66503
OLEEN, BENTSON R & FULLER, ANDREA L	100 S Manhattan AVE	Manhattan	KS	66502
OLSON, EDWIN C SR & DIAN ELAINE; TRUST	1214B Moro St	Manhattan	KS	66502-5353
PORTER RENTALS LLC	3708 Crossgate CIR	Manhattan	KS	66503-9650
PR MIG MANHATTAN OWNER LLC	1468 Kimbrough RD #STE 103	Germantown	TN	38138
S & N RENTALS LLC	1916 BLUESTEM TERR	MANHATTAN	KS	66502-4509
STITES, JOHN F	751 Canfield DR	Manhattan	KS	66502-3631
VARNEY'S INC	303 N 14th ST	Manhattan	KS	66502-4006
WILD PS LLC	Attn: Kevin Peirce 1219 Moro ST	MANHATTAN	KS	66502-5352
1227 REAL ESTATE LLC	3033 Anderson AVE	Manhattan	KS	66503